

# Property Inspection Report



**900 Sunset Creek Ln. Pleasanton, CA.**



CERTIFIED INSPECTOR

**John M. Quintal**

**Report #:**

900 Sunset Creek Ln. Pleasanton

**This report is prepared exclusively for:**

**Date of Inspection:**

11/02/2018

**Expiration Date:**

This report expires 3 months from the date of inspection due to possible significant changes that may occur.



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## INSPECTION OVERVIEW

### **DESCRIPTIVE INFORMATION**

**Weather Conditions:**

Clear skies, with no measurable rain having occurred within the previous 72 hours.

**Temperature Range:**

65 - 75 degrees.

**Persons in Attendance:**

Listing Agent or representative.

**Location/Direction Conventions Used in this Report:**

When we talk about the "right" or "left side" of the exterior or interior of a house, we are assigning direction as we would if we were standing at the street and were looking towards the front of the structure. For features inside a town home or condo, you can imagine you are standing inside the front door, looking toward the middle of the unit.

### **SCOPE OF THE INSPECTION**

**Introduction:**

The purpose of a home inspection is to evaluate the home for function, operability and condition of the systems and components. This inspection is a non-invasive, visual examination designed to identify material defects in the systems, structure and components of the primary building as it exists at the time of inspection. A material defect is a condition that significantly affects the habitability or safety of the building. The word "serviceable" used throughout this report refers to the satisfactory condition of the component. This means the component functioned according to its intended use at the time of the inspection. Style or aesthetics shall not be considered in determining whether a specific system, structure or component is defective. The inspection is limited to those specific systems, structures and components that are present and are visually accessible. Latent or concealed defects and deficiencies are excluded from this inspection. Components and systems have been operated with normal user controls only and as conditions permit.

This report complies with the ASHI *Standards of Practice*. A copy is available online at [ASHI.ORG](http://ASHI.ORG) or through our office. Any items or components not included in this report are outside the scope of inspection. We do not guarantee nor imply that all defects have been detected or reported.

This inspector is not qualified to detect the presence of Chinese Drywall. Accordingly the issue of Chinese Drywall (and its potential problems) is beyond the scope of the inspection report.

Determining compliance with installation guidelines, manufacturer's specifications, building codes, ordinances, regulations or other restrictions is not within the scope of this inspection. Certain factors relating to any systems, structures or components of the building, including but not limited to, adequacy, efficiency, durability or remaining service life and cost estimates are non-inclusive. Many household appliances, including wall heaters, fireplace inserts, furnaces, water heaters and several other items have been recalled due to fire and/or other safety issues. We recommend obtaining further information on all installed appliances concerning possible safety recalls and/or other defects by going to the web site for the Consumer Product Safety Commission at [www.cpsc.gov](http://www.cpsc.gov). Inspection of systems or components of the building which are not permanently installed are not included in this report.

The inspector is a Home Inspection Generalist and is not acting as an expert in any craft or trade. The inspection report may contain recommendations for further evaluation by an individual expert other than the inspector at the clients own expense.

Oftentimes, personal belongings obstruct inspections of certain items or locations within a home or building. It is best to look through the building at the time of your final walkthrough for items or areas of the home that were not accessible due to personal belongings. If any unusual conditions exist, it is recommended to call our office for further evaluation.

**Not Inspection for Building Code Violations:**

The presence or extent of building code violations was not the subject of this inspection, nor was it included in the report. No warranty is offered on the legal use, or uses of the building or property. Information with regard to these issues may be available from the appropriate building and/or zoning agency.

**Important Information May be Found in the Public Records:**

Important information about this property may be a matter of public record. However, search of public records is not within the scope of a home inspection. We recommend review of all appropriate public records by the buyer, or representative of the buyer, should this information be desired.

**A Home Inspection, Not a Pest Inspection:**

The detection of moisture damage or pest activity is outside the scope of this inspection. We do not probe for infestation. Any observations, which the inspector might make in this report regarding evidence of pests, wood destroying organisms or moisture related damage, are not a substitute for inspection by a licensed pest control operator or exterminator. Your inspector may only report on a portion of the currently visible conditions and cannot render an opinion regarding their cause or remediation. We recommend a review of a current Pest Control Report for further information concerning pest activity, wood destroying organisms or moisture related damage on this property. If such a report is not available, we recommend arranging for a pest control inspection, before the close of escrow, to confirm the presence and extent of pests or water damage.

**Environmental Issues are Excluded:**

Comments on environmental hazards or conditions, including, but not limited to, toxic, reactive, combustible or corrosive contaminants, wildfire geologic or floor hazards are specifically excluded from this inspection and report.

**Mold and Mildew:**

We hope that the following facts and considerations regarding mold and mildew, the scope of this home inspection and your family's health, will aid in your understanding of this topic.

- Mold spores are present in the outside air everywhere, even in the driest of the so-called desert climates. Thus, every home contains mold both inside and on all surfaces. But the mold will remain dormant until the right conditions or moisture, temperature and food become present. Accurately identifying those conditions often takes specialized skill and experience.
- Mold spores are often present on surfaces and in the cracks and pores of building materials as they are incorporated into new construction, no matter where in the world the new home is being built.
- Human reaction to, and the possible affects of, exposure to specific molds and other fungi can vary widely, even between members of the same family exposed to the same conditions.
- Many times mold infestations occur inside wall cavities or in an under-building space or attic where they cannot be seen without destructive disassembly of the building, an activity specifically prohibited by all nationally recognized Standards of Practice governing the Home Inspection industry.
- Searching for environmental hazards of any kind, including molds and/or mildew is not part of this home inspection or any standard home inspection and report. During our inspection, if we did come across conditions that, in our opinion, could cause or suggest the presence of these organisms, we have made every effort to note them in the report.

Whether or not we have mentioned any visible evidence or suspicious symptoms in your report or whether or not you or any member of your family have been known to have had an adverse reaction to possible mold exposure and you are concerned about mold issues, we strongly suggest that you engage the services of a qualified expert that specializes in the identification of these organisms and follow their recommendations.

**DISCLAIMER:**

**Use of Report:**

The inspection report is solely and exclusively for the client's own information and may not be relied upon by any other third party. The client may distribute copies of the inspection report to parties directly involved with the property transaction, however third parties have no legal binding between themselves and the inspector or report.

**Repairs:**

It is hereby agreed and understood that should the client claim to discover that one or more aspects of the report are incorrect, the client agrees to notify the inspector before any corrective measures are undertaken, and to allow further inspection of the reported problem by the inspector at no charge to the client. Should the inspector then determine, in the inspector's sole discretion, that a repair or replacement is indeed required, the client agrees to allow the inspector, or their designated person, the opportunity to perform said repair or replacement prior to initiating any repair or replacement on his own behalf and prior to initiating any mediation, arbitration or civil action.

**Homeowner Warranty:**

If the property is being sold with a homeowner warranty, all claims must be filed against the warranty rather than the inspection company.

**Arbitration:**

Any dispute concerning the interpretation of this report, except one for inspection fee payment, shall be resolved between the parties by Binding Arbitration conducted in accordance with the rules of the Construction Arbitration Services, Inc. The

arbitrator shall apply the substantive and procedural laws of the State of California to all issues submitted in the arbitration proceeding. The award of the arbitrator shall be final and a judgment may be entered on it by any court having jurisdiction. The prevailing party shall be entitled to recover fees and costs incurred as a result of this proceeding.

## GROUNDS

### **DRIVEWAY:**

**CONSTRUCTED OF:**

Concrete.

**CONDITION:**

The driveway is serviceable. Common cracks were found.

**RECOMMENDATIONS:**

**CONCRETE CRACKS:** Cracking is common in concrete, however major cracks (1/4 inch or larger) can also indicate or lead to problems such as site erosion or subsurface water damage. These areas should be examined annually and all cracks should be sealed as needed to help prevent moisture penetration. Any substantial increase over time should be examined by a specialist.

### **SIDEWALKS:**

**CONSTRUCTED OF:**

Concrete.

**CONDITION:**

The sidewalks are in serviceable condition.

### **GRADING:**

**SLOPE:**

Minor slope.

**CONDITION:**

The drainage of the site is serviceable with the proper slope away from the foundation. [The soil level is too high at the foundation at the rear](#) - see PHOTO 1 for example. [Plants are touching the house](#). Surface drains are noted (not tested), underground pipes cannot be judged. [There is a missing drain cover to the subsurface drain pipe at the rear](#) - see PHOTO 2.

**RECOMMENDATIONS:**

**GENERAL INFO:** In general the soil and other surfaces near a building should slope away from the foundation to prevent water entry beneath the building. Excessive water may cause foundation movement, concrete deterioration and/or other damage. Flower beds and other landscaping items close to the foundation may trap or induce moisture in these areas.

**PLANTS TOUCH HOUSE/ROOF:** Vines, shrubs or trees which touch the building should be trimmed back periodically to prevent damage to the siding, eaves, or roof surfaces. The portions of the exterior obscured by plant growth are not accessible to routine inspection and may conceal defects needing repair. Recommend trimming all vegetation where necessary to help alleviate possible damage and to view areas that were not visible at the time of inspection. Please contact our office if damage or deficiencies are found.

### **PHOTO 1:**

**SOIL LEVEL TOO HIGH:** Sometimes referred to as a "faulty grade", this is a condition where the exterior soil level is above the top of the concrete or masonry foundation. A faulty grade can allow moisture penetration, leading to decay and termite infestation. The standard in new construction is for the top of the foundation to be at least 8 inches above the soil level. Removal of soil adjacent to the foundation can eliminate a faulty grade condition, but it may also direct surface water toward the foundation. A concrete curb outside the foundation to act as a moisture barrier; or a low concrete or wood retaining wall could be installed to hold soil away from the foundation. A qualified contractor should be consulted as to the appropriate repair method. Recommend referring to the termite report for any possible moisture related damage that may be present at these areas.



**PHOTO 2:**

A broken/missing drain cover can become a trip hazard and can allow unwanted pest and/or debris to enter and possibly block the drain lines. It would be beneficial to install a new drain cover.

Recommend having the drains tested for proper drainage now and on a regular basis thereafter as part of general property maintenance.



**Please Note:**

This inspection does not include geological conditions or site stability information. For more information concerning these conditions, a geologist or soils engineer should be consulted.

**PATIO:**

**CONSTRUCTED OF:**

Concrete.

**CONDITION:**

The patio is in serviceable condition. The patio has common cracks.

**RECOMMENDATIONS:**

**GENERAL INFO:** Cracking is common in concrete, however cracks can also lead to problems such as site erosion or subsurface water damage. These areas should be examined annually and any cracks that may develop should be sealed as needed to help prevent moisture penetration. Any substantial increase of a crack over time should be examined by a specialist.

**DECKS/PORCH/BALCONY:**

**CONSTRUCTED OF:**

Concrete with tile.

**LOCATION:**

The front of the structure.

**CONDITION:**

The porch is in serviceable condition.

**FENCES & GATES:**

**CONSTRUCTED OF:**

Wood.

**CONDITION:**

The fence is serviceable. [There are loose posts noted at the left and there are loose boards at the left and right that are creating gaps in the fence](#) - see PHOTO 1 for example.

**RECOMMENDATIONS:**

Recommend replacing or securing the loose posts where needed to help maintain the integrity of the fence and to guard against displacement during windy conditions.

**PHOTO 1:**

Recommend securing the loose boards where needed to help prevent unsupervised children from accessing the pool which can be a hazardous condition.



**EXTERIOR/FOUNDATION**

**POOL/SPA:**

**CONDITIONS:**

[MESH FENCE: None.](#) [POOL ENCLOSURE PRESENT: None.](#) [POOL COVER: Provided.](#) [EXIT ALARM: None.](#) [SELF CLOSING DEVICE: Did not operate at the gate which provides access to the pool.](#) [POOL ALARM: None.](#) [OTHER MEANS: None.](#) The fence.

**RECOMMENDATIONS:**

LESS THAN 2 PRESENT - Health and Safety: There were less than 2 drowning prevention safety features present that meets the requirements of Section 115923 of the CA Health & Safety Code and the American Society for Testing and Materials (ASTM) Specifications F 2286 standards. We recommend the qualified personnel are hired to install a minimum of two of the seven drowning prevention safety features.

**Please Note\*:**

DISCLAIMERS: This inspection pertains only to the visually identifiable presence of the drowning prevention safety features described above and not to the functionality of the safety features or other aspects of the pool/spa and related equipment.

We are not qualified to determine if the drowning prevention measures present, if any, meet Any governmental, ASTM or ASME certifications. This information should be obtained from the property owner or the individual who installed the device.

**Mandated Swimming Pool and/or Spa Safety Feature Review** The state of California (CA) Legislature passed legislation amending Section 7195 of the Business and Profession (B&P) code governing home inspections. As of January 1, 2018 the amendment mandates home inspections include a noninvasive examination of the pool/spa and dwelling safety features only. This does not include the actual inspection of the pool/spa and any related equipment.

The home inspector shall identify if any of the seven drowning prevention safety features of the pool or spa is equipped, and shall specifically state in the report if the pool and/or spa has fewer than two of the listed drowning prevention safety features listed in subdivision in Section 115922 of the CA Health and Safety Code.

Many people (including children) die or are injured due to deficient or missing swimming pool and spa safety features. We recommend qualified personnel be retained to further evaluate and confirm the above safety features are present and meet the applicable standards to ensure the safety of persons using the pool and/or spa. We are not qualified to render opinions in this field.

**EXTERIOR WALLS:**

**FRAMING:**

Woodframe.

**WALL COVERING:**

Wood and stone.

**CONDITION:**

The exterior walls are in serviceable condition. [The butt ends of the siding are separating at limited locations and in need of re-caulking](#) - see PHOTO 1 for example.

**RECOMMENDATIONS:**

It is recommended that a permit search be performed on all houses where any remodeling or additions may have taken place to ensure all construction, including electrical, plumbing and mechanical installations, have been performed according to general construction standards.

**Photo 1:**

Butt ends of the wood siding should be examine and caulked on a regular basis to help alleviate unwanted water penetration. Recommend caulking butt ends of the wood siding where needed.



**Please Note:**

Unless otherwise noted, the house exterior was inspected from the ground. A board by board search was not performed and is beyond the scope of this inspection. Wall insulation type and value is not verified. UFFI insulation or hazards are not identified. Conditions inside the wall cannot be judged. Lead paint testing is not performed.

**EXTERIOR TRIM:**



**CONSTRUCTED OF:**

Wood.

**CONDITION:**

The trim appears to be in serviceable condition. Not all trim was accessible to a complete inspection due to height, vegetation or other restraints. The exterior trim has been recently painted.

**RECOMMENDATIONS:**

**CAULKING TRIM:** Trim components are often found to be rotted or damaged by moisture and are prone to weathering and opening up at the joints. The caulking at trim joints and transitions becomes deteriorated over time and requires periodic renewing. Painting and caulking these areas are important in preventing damage and should be performed regularly as part of routine property maintenance. It would be beneficial caulking trim joints and transitions when necessary to help alleviate water entry.

**CHIMNEY:**

**LOCATIONS:**

Located at the left and right of the structure.

**CONSTRUCTED OF:**

Metal flue.

**CONDITION:**

The visible portion of the exterior metal chimney flue appears to be serviceable. The interior of the flue and clearances within the attic space could not be inspected due to inaccessibility. A spark screen and rain cap have been installed.

**SLAB ON GRADE:**

**VISIBLE CONDITION:**

The slab is not visible to a complete inspection due to carpet and floor covering, thus the floor slab was considered mostly inaccessible and could not be thoroughly inspected. However there are no readily visible problems noted at this time, such as seepage or other moisture related problems or unusual cracking or displacement on the interior or exterior of the building.

**FOUNDATION PERIMETER:**

Portions of the foundation perimeter were visible to inspection with no cracks seen in the concrete, however the foundation was not fully visible due to the soil was too high at various locations.

**RECOMMENDATIONS:**

**GENERAL INFO:** Cracking is common in concrete foundations. Minor cracks caused by shrinkage or settling and movement are found even in relatively new foundations. Moderate or larger cracks may indicate ongoing settling or movement and the eventual need for underpinning or foundation repair. There is no way to determine if a crack will grow in size or if new cracks will form. Most large cracks were once small. The best way to estimate the likelihood of future movement may be to observe the number and size of cracks over a period of time. Cracks which are a 1/4 inch or larger are recommended to be evaluated by a structural engineer.

**ROOF**

**ROOF STYLE**

Hip and Gable.

**METHOD OF INSPECTION:**

**The Roof Was:**

Walked upon.

**CONDITION:**

**ROOF TYPE:**

CONCRETE TILE.

**CONDITION:**

The roof appears to be in serviceable condition and within its useful service life. There are two cracked tiles upon the roof surface and there are no broken tiles at this time. There is a migrating tile at the upper left hip - see PHOTO 1. There are signs of pest entry at the upper middle hip transition - see PHOTO 2.

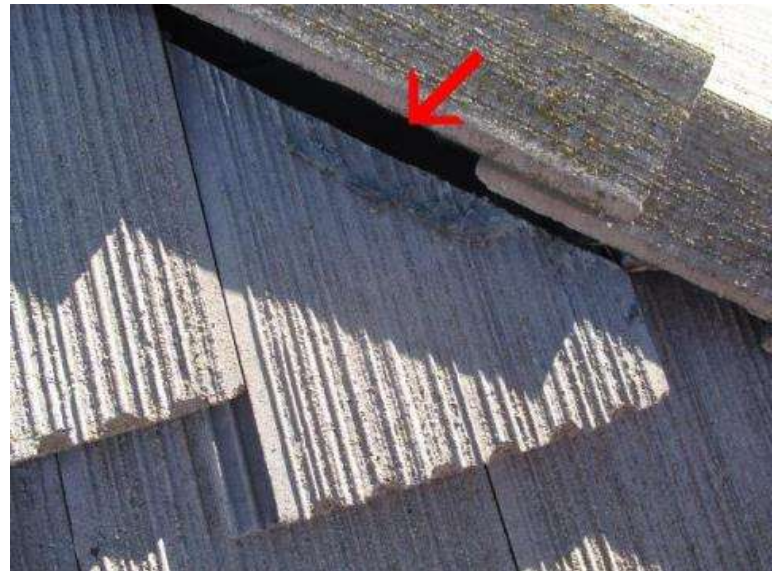
**ROOF RECOMMENDATIONS:**

Tile roofs require tune-up type maintenance regularly as typical conditions tend to develop, involving broken or excessively cracked tiles, tiles that move out of position from deteriorated adhesives, deterioration of closure or seals at roof penetrations and transitions, and debris that tends to accumulate on the roof and creates adverse conditions. A secondary layer of felt paper is generally installed under the tiles to protect from moisture that inadvertently migrates under the roof. Over time, this underlayment becomes deteriorated and requires replacement, usually after about 30 years, if the roof is properly maintained as mentioned above to keep moisture seepage beneath the tiles to a minimum.

**CRACKED TILES:** These conditions typically occur from normal structural movement and are generally not a weatherproofing concern as the rupture or crack does not extend beyond the underlying course of roofing. These tiles should be monitored and replaced as necessary if the cracks continue to expand. Some tiles have chips or cracks that extend beyond the underlying course of tiles. These chipped tiles may become overburdened with moisture during periods of inclement weather when saturating conditions develop and lead to sources of water incursion below the roof, possibly resulting in interior water incursion. Regular maintenance should include removal and replacement of these chipped tiles such as this as necessary.

**PHOTO 1:**

**MIGRATING TILES:** At roof to wall transitions, an "L" type metal flashing is typically installed under or over the tiles. Installing nails through these tiles would create holes in the underlying flashing. Therefore, roofing contractors typically adhere these tiles in place. The tiles installed under the hips and roof top penetration flashings are also typically installed in this fashion. The adhesive generally lasts approximately five plus years thereby requiring periodic re-application. Recommend having a roofing contractor re-install, adhere or mechanically fasten all tiles as necessary.

**PHOTO 2:**

It appears that vermin activity has created a hole in the transition flashing. The hole can become overwhelmed with water and a source for moisture influence under the roof. Recommend having a licensed roofing contractor repair the flashing where necessary. Although the affected flashings can be repaired, once an animal activity begins, it is generally difficult to deter. It is minimally recommended that animal access to the roof be restricted, if possible.



**PHOTO 3:**

Overviews of the roof.



**Please Note:**

The report is an opinion of the general quality and condition of the roof. The inspector cannot and does not offer an opinion or warranty as to whether the roof has leaked in the past, leaks now or is subject to leak in the future. Most houses in the Bay Area shift slightly each year due to changing moisture content of the soil resulting from the winter rains. This shifting is the cause of most of the small cracks noted in stucco, sheet rock or plaster around the door and window openings. Control of roof water runoff can reduce the degree of this seasonal shifting and reduce the number of small cracks noted.

**ROOF FLASHINGS & TRANSITIONS:**

**CONDITION:**

The visible portions of the flashing assemblies are in serviceable condition.

**Separations at:**

There are splits developing in the lead roof to wall transition at the lower rear - see PHOTO 1 The sealant where a plumbing vent pipe penetrates the flashing at the rear is deteriorated and can allow water incursion - see PHOTO 2.

**VENT CAPS:**

The vent caps are presently in serviceable condition.

**Skylights:**

None.

**RECOMMENDATIONS:**

GENERAL INFO: Exposure to heat and the normal expansion and contraction of metal may cause separations at metal flashings. All flashings should be checked annually and secured or sealed when necessary to prevent rain water entry. Sheet metal flashings should be kept well painted with a good quality rust-inhibiting paint. The flashing should last as long as the roof surfacing material and flashings should be replaced when a new roof surface is installed.

**PHOTO 1:**

Recommend sealing the splits in the roof to wall flashings to help prevent water from accessing under the roof. This work should be performed by a licensed contractor.



**PHOTO 2:**

**SEPARATIONS:** Exposure to heat and the normal expansion and contraction of metal may cause separations at metal flashings. All flashings should be checked annually and secured and/or sealed with mastic material or similar as necessary to prevent rain water entry. Mastic is the general name for a thick roof patching compound or cement. It is considered to be a temporary method to seal connections. Mastic dries out and cracks, typically requiring a new application every 2 - 4 years. Recommend having a licensed roofing contractor seal all areas in need promptly to help avoid water incursion.



**GUTTERS & DOWNSPOUTS**

**TYPE:**

Full.

**CONDITION:**

The gutters and downspouts appear to be in serviceable condition. [Two gutters joints are leaking at the rear](#) - see PHOTO 1 for example. [There is a minor amount of debris inside the gutters and there is excessive debris in the gutters at the left rear](#) - see PHOTO 2. Subsurface drains have not been tested.

**RECOMMENDATIONS:**

**PHOTO 1:**

**RUST CORROSION/LEAKS:** Rust forms inside steel gutters as they age and rust spots or holes eventually appear on the bottoms. This typically indicates that the gutters will soon need replacement. Coating or painting the gutter interior can reduce rusting. Holes can be patched with fiberglass mesh tape and asphalt emulsion. It is generally best to replace old gutters when a new roof surface is installed. Gutter joints and other connections should be checked regularly in rainy weather for leakage and caulked or repaired as needed. Recommend having the appropriate professional repair the leaking gutters where needed.



**PHOTO 2:**

**ROOF MAINTENANCE:** Roof surfaces, rain gutters, downspouts and subsurface drain lines should be checked regularly. Leaves and other debris should be removed as needed. Gutter corner joints and connections may need periodic caulking or sealing. Screens can be put at the downspout-gutter connections or dome shaped screens over drain openings to keep debris from blocking the downspout. These should be examined several times a year for debris blockage. To check for adequate drainage, walk around the building during or shortly after a heavy rain and observe the adequacy of the roof and area drainage systems. Recommend having the gutters cleaned now and regularly as part of general maintenance.



**Please Note:**

The condition of the drainage and sub-area of the house is described as it existed at the time of inspection. Gutters and subsurface drains are not water tested for leakage or blockage, thus we cannot make any representations as to its effectiveness. As with most structures in this area, drainage control is an important element in ongoing maintenance of the house. Regular maintenance of the drainage systems is required to avoid water problems at the roof and foundation, such as checking for debris and cleaning regularly. Certain drainage conditions can only be detected by the long run occupancy of the house. Recommend the seller be contacted regarding any unusual or seasonal drainage conditions that may exist.

**ATTIC:**

**ROOF FRAME:**

Truss - 2 x 4 trusses that have been installed 2 foot on center. The substrate consists of plywood under the roof material.

**CEILING FRAME:**

Truss - 2 x 4.

**METHOD OF INSPECTION:**

The inspection was limited to the view from the furnace platform only.

**CONDITION:**

Our examination of the visible and readily accessible attic components did not reveal any conditions requiring immediate attention. Insulation concealed portions of the framing, limiting access and preventing a complete inspection. Our examination of the visible and readily accessible components as viewed from the access opening did not reveal any conditions requiring immediate attention. There were no moisture stains visible at this time.

**Vents:**

Were provided.

**INSULATION:**

Insulation Type: Loose - with an approximate depth of 18 inches.

**RECOMMENDATIONS:**

LIMITED VIEW: Most attic areas are not designed to hold the weight of an inspector. Walking or crawling through an attic, especially one with insulation obscuring the ceiling joists, can damage the ceilings. These inspections are limited due to inaccessible areas of the attic.

**Please Note:**

Determining the presence of asbestos or other hazardous materials is beyond the scope of this inspection.

<b>PLUMBING</b>
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**MAINLINE:**

**TYPE:**

Copper. SIZE: 1 inch. PRESSURE: 60 psi at - 11:30 AM.

**CONDITION:**

The main line appears to be serviceable. There was no surface corrosion or leakage at the exposed and accessible portions of the main supply piping.

**MAIN VALVE:**

LOCATED AT: In the garage.

**COMMENTS:**

GENERAL INFO: Normal water pressure is between 40 and 80 pounds. Lower pressure may not be adequate and higher pressure can damage pipe fittings, valves, appliances and fixtures. A regulator is required in new construction to reduce pressures over 80 pounds.

**SUPPLY LINES:**

**TYPE:**

Copper.

**CONDITION:**

The visible portions of the exposed and accessible supply pipes appear to be in serviceable condition. There were no visible leaks at the time of this inspection. Not all supply lines are visible to inspection.

**Please Note:**

Underground and hidden pipes cannot be judged for leaks or corrosion. Water quality testing or testing for hazards such as lead is not part of this inspection. Sprinklers are not within the scope of this inspection and therefore are not tested.

**WASTE LINES:**

**TYPE:**

Plastic.

**CONDITION:**

The visible portions of the waste lines appear to be in serviceable condition. There were no visible leaks at this time. Not all drain pipes are visible to inspection. [There is an open waste line at the rear from the kitchen drain](#) - see PHOTO 1.

**PLUMBING VENTS:**

The vents appear serviceable. Unable to fully view vent pipes.

**PHOTO 1:**

**OPEN WASTE:** Open waste lines may allow methane gas (a possible hazardous condition) or other unwanted odors to escape the drain line. All horizontal drain waste piping is required to be capped to alleviate this condition. Recommend having a licensed plumber seal the end of the waste line as necessary.



**Please Note:**

City sewer service, septic systems and all underground pipes are not part of this inspection. Future drainage performance is also not determined.

**HOSE FAUCETS**

**CONDITION:**

The faucets are in serviceable condition.

**RECOMMENDATIONS:**

**HOSE ANTI-SIPHON VALVES:** These devices are installed at the end of hose faucets in new construction to keep ground water from being drawn up into a garden hose and into the house water supply.

**GAS FUEL SYSTEM:**

**TYPE:**

Gas meter: located on the right side of the structure.

**CONDITION:**

The gas meter appears serviceable, although the lines were not fully visible. The lines are corrosion-proofed where visible.

**RECOMMENDATIONS:**

**GAS VALVE:** Main shut off valves oftentimes stick which may cause the valve to be difficult to operate and/or possibly render the valve inoperative. Recommend contacting PG&E to operate the main gas valve and each gas burning appliance to ensure safe operation. It would be beneficial to perform this prior to the close of transaction to ensure safe operation of all gas burning appliances and periodically thereafter as a safety precaution.

**Please Note:**

Underground pipes cannot be judged. Pipes inside walls or pipes concealed from view cannot be judged and the inspector does not perform tests for gas leakage or pipe sizing.

**WATER HEATER:**

**LOCATION:**

Garage.

**TYPE:**

Gas.

**SIZE OF TANK:**

75 gallons.

**CONDITION:**

The water heater is in serviceable condition with functional controls. There was a catch pan installed.

**WATER SHUTOFF VALVE:**

There was one installed although it is not in the scope of this inspection to test it. [There is corrosion on the pipes](#) - see PHOTO 1.

**TPR VALVE:**

There is one installed on the tank.

**COMBUSTION AIR:**

Serviceable.

**VENT FLUE PIPING:**

The unit is venting properly at this time. The vent pipe is not completely visible to inspection.

**SEISMIC STRAPS:**

The top and bottom straps are in serviceable condition.

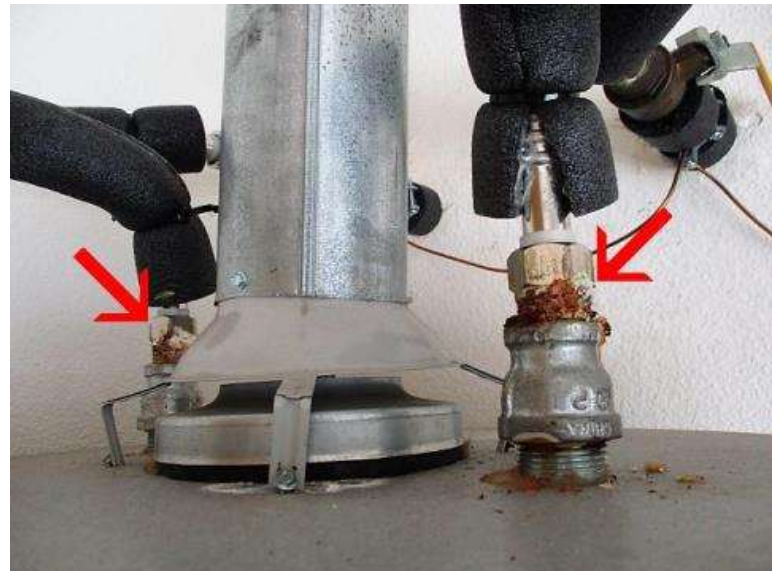
**RECOMMENDATIONS:**

**MAINTENANCE:** The life span of a water heater can be extended by periodically removing the sediment that builds up in the tank. Attach a garden hose to the drain valve at the bottom and open the valve until the water runs clear. This may cause the valve to drip, which can be stopped by installing a plastic cap. The temperature adjustment control should be set in the middle range. The water temperature should never be set hot enough to scald someone accidentally.

**CATCH PAN:** Water heaters will eventually leak with age. A water heater near or above finished rooms should have a sheet metal or plastic pan beneath with a drain to the exterior to prevent damage when leakage occurs. Installing a catch pan to help alleviate damage to the interior may be beneficial. Recommend testing the drain by pouring water into the catch pan and ensuring the water comes out the end of the drain line. This should be performed on a regular basis as part of general property maintenance.

**PHOTO 1:**

**CORROSION:** Anytime there is corrosion on any piping it is a sign that it has been moist in the past and MAY begin to leak in the future with further deterioration. Recommend periodic inspection to help determine any recent leakage which may occur and prompt repair as necessary. It may be necessary to repair or replace the pipe in the near future.



**HEATING**

**DESCRIPTION:**

**APPROXIMATE BTU'S:**

Unit A: 88,000 btu's. Unit B: 80,000 btu's.

**LOCATION:**

Unit A: The right hall. Unit B: Attic.

**HEATING TYPE:**

Both: Forced Air.



**FUEL TYPE:**

Both: Natural gas.

**CONDITION:**

**The Heating System:**

Both are operational. [UNIT A: The grommet at the AC line is missing at the plenum](#) - see PHOTO 1.

**VENTING:**

Both systems are venting properly at this time.

**COMBUSTION AIR:**

The combustion air supply is serviceable for both units.

**BURNERS:**

The flame pattern appears typical on both units.

**Please Note:**

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection.

**DISTRIBUTION:**

**TYPES OF DISTRIBUTION:**

Ducts/Registers.

**CONDITION:**

Both ducting systems are serviceable.

**Please Note:**

Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection.

**NORMAL CONTROLS:**

The controls on both units respond normally.

**Please Note:**

Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or even heat distribution of the system through the house is not part of this inspection.

**AIR FILTERS:**

The air filter on both units are serviceable.

**RECOMMENDATIONS:**

Suggest having a licensed HVAC contractor examine, clean and service the blower, motor, pilot, burners and vent system every year as part of general home maintenance.

GENERAL INFO: Air filters prevent the accumulation of dust and dirt on the blower fan blades which can significantly reduce efficiency. Air filters should be checked monthly and changed or cleaned, depending on type, as necessary. A clogged air filter can lead to reduced air flow over a furnace heat exchanger, resulting in premature heat exchanger cracking or failure. Some furnace manufacturers prefer that filters not be used on their equipment as poor filter maintenance is common.

**PHOTO 1:**

**PLENUM:** Air leaks are common at the plenum as the sealing material deteriorates which can allow conditioned air to escape, reducing system efficiency. Leaks may also allow mixing of combustion air (a possible hazardous condition). Recommend sealing around the air conditioning lines as needed to alleviate the escape of conditioned air.



## ELECTRIC

**SERVICE:**

**TYPE:**

Underground. Number of Conductors - Three. 120/240 Volts - breakers.

**CONDITION:**

The system is in serviceable condition.

**MAIN PANEL:**

**LOCATION:**

The right side of the building with - one 120v circuit and six 240v circuits.

**CONDITION:**

The main panel is in serviceable condition. ESTIMATED AMPERAGE: 200 amps.

**GROUND:**

Ground is present.

**COMMENTS:**

**GENERAL INFO:** Many electrical systems utilize a driven grounding rod to provide the grounding necessary for safety. In most jurisdictions, the wire between the panel and the rod should be protected from damage by placing it inside metal conduit. The wire should be firmly clamped to the rod and the rod should be driven to it's full depth. The clamp connection should be checked periodically to be sure it is tight and secure.

**CONDUCTORS:**

**POWER CABLE:**

Copper and Aluminum.

**BRANCH CABLE:**

Copper.

**SUB-PANEL(S):**

**LOCATION OF SUB-PANEL A:**

The garage with - twenty-seven 120v circuits and one 240v circuit.

**PANEL NOTES:**

**CONDITION:**

The sub-panel is in serviceable condition.

**WIRING NOTES:**

**CONDITION:**

The presence of furnishings, personal items and decorations limited our view or access and thus prevented testing of all outlets and switches. For instance, the placement of furniture prevented access to every electrical receptacle. Based upon the inspection of a representative number of receptacles and switches, the sample of switches and outlets tested are operational. [There are two loose outlets at the kitchen counters and one at the upper hallway. There is a displaced/loose cover plate in the kitchen cabinet](#) - see PHOTO 1.

**Please Note:**

Review of any low voltage electrical devices and their associated wiring, including telephone, TV antenna, stereo systems, fire and burglar alarms, intercom, yard lighting, landscape water timers or other water features is not within the scope of a home inspection. We recommend consultation with the appropriate service technician for full evaluation of the operating condition of these devices.

**GROUND FAULT CIRCUIT INTERRUPTER(S):**

[The shared GFCI outlet in BATH A & B is not operational.](#)

**Doorbell:**

Operational.

**PHOTO 1:**

MISSING COVER PLATES: Recommend having all electrical outlets covered with the appropriate cover plate to help alleviate possible shock.



**RECOMMENDATIONS:**

**LOOSE OUTLETS:** An outlet that is loose in the wall may be pulled from the wall cavity, thereby exposing live wires. Recommend having a licensed electrician tighten all loose outlets as necessary for safety.

**GFCI:** Ground Fault Circuit Interrupters are especially sensitive circuit breakers designed to protect the user from electric shock. They have been required for several years on the interior of the home, within six feet of water in bathrooms and kitchens, and at all exterior locations, including garages and basements. It would be beneficial to have a licensed electrician repair/replace GFCI outlets where indicated for safety.

**AIR CONDITIONER:**

**LOCATION(S):**

Unit A: Right side of the building. Unit B: Left side of the building.

**TYPE:**

Both: Central Air Conditioning.

**CONDITION:**

The cooling systems are operational with an average air temperature split of 16 - 18 degrees each.

**POWER:**

240v with an electrical disconnect present at each unit.

**CONDENSATE:**

There has been a condensate line installed at each unit.

**REFRIGERANT LINES:**

Insulation has been installed on lines at each unit.

**RECOMMENDATIONS:**

GENERAL INFO: Air coming from the registers which is either too warm or too cold may indicate a malfunctioning system. Air condition systems are specifically designed to provide an air temperature difference between the cold air return and the supply registers of 14 to 21 degrees.

<b>INTERIOR</b>
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**ENTRY DOORS:**

**CONDITION:**

The door is serviceable.

**WEATHER STRIPPING:**

The weather stripping around the door is in serviceable condition.

**HARDWARE:**

The door hardware is operational.

**INTERIOR DOORS:**

**CONDITION:**

A representative number of interior doors are serviceable.

**HARDWARE:**

Is operational on all doors tested.

**EXTERIOR DOORS:**

**TYPE:**

Casement.

**CONDITION:**

The door is serviceable. Tempered glass has been provided.

**LATCHING HARDWARE:**

The latching hardware is operational.

**WINDOWS:**

**WINDOW TYPE:**

Vinyl - Dual Paned. Sliding.

**CONDITION:**

The sample of windows tested are operational. There were no visible moisture stains on the interior portions of the windows at the time of this inspection, however, the interior has been recently painted. The screens have not been checked.

**Please Note:**

Determining the condition of all thermopane windows is not always possible due to temperature change, weather and lighting variations. Check with the owner for current information. It is usually best to view windows in the morning when condensation is most likely to occur.

**INTERIOR WALLS:**

**TYPE:**

Drywall.

**CONDITION:**

General conditions of the walls are serviceable. There was no visible mold growth on ceiling or wall surfaces at the time of inspection. There were no cracks seen at the time of this inspection. The interior of the structure has been recently painted.

**COMMENTS:**

GENERAL INFO: Wall and ceiling surface cracking is common. Periodic repair may be needed as part of routine property maintenance. Singular cracks can often be repaired by using acrylic latex caulk, wiping off excess caulk as you go with a wet sponge, and then repainting.

**Please Note:**

The condition of walls behind wallpaper, paneling and furnishings cannot be judged. Wallpaper and other types of wall coverings, as well as window coverings, are not considered a part of a standard home inspection and, in most cases, no comment on their condition will be made.

**CEILINGS:**

**TYPE:**

Drywall.

**CONDITION:**

General condition of the ceilings are serviceable. There were no moisture stains in the ceilings visible at the time of inspection. The interior of the structure has been recently painted.

**Please Note:**

Determining whether acoustic sprayed ceilings contain asbestos is beyond the scope of this inspection. For more information, contact the American Lung Assoc. or an asbestos specialist.

**FLOORS:**

**TYPE:**

Carpet, Wood Laminate and Tile.

**CONDITION:**

The floors are in serviceable condition. Furnishings prevented a full inspection, please do a careful check on your final walkthrough. There were no broken/cracked tiles visible at the time of the inspection, however, not all tiles were visible to inspection.

**Please Note:**

Floor coverings are not considered a part of a standard home inspection and, in most cases, no comment on their condition will be made. Floor coverings are not lifted for inspection of the underlying finishes and hidden conditions may be present. We do not represent that cleaning, in and of itself, will remove any or all stains or odors. We suggest that if any of these conditions are present, one should consult with the appropriate floor or covering specialist.

**FIREPLACE(S):**

**LOCATION(S):**

The family room and The living room.

**TYPE:**

Prefabricated.

**CONDITION:**

The general condition of both fireplaces is serviceable.

**Please Note:**

Accessible fireplace components are visually inspected for signs of significant malfunction, excessive or unusual wear and general state of repair. However, portions of a standard fireplace configuration are always, by their nature and location, inaccessible for a home inspection.

**GAS:**

Operational.

**SMOKE & CARBON MONOXIDE DETECTORS:**

**TYPE:**

The units are hardwired.

**TESTED:**

All indicator lights are on and all test buttons respond normally.

**COMMENTS:**

GENERAL INFO: Smoke alarms are required to be installed on every floor (centrally located), in hallways near sleeping areas and near the entrance to the garage. Smoke alarms are now required in every bedroom at the time of sale. Direct wired smoke alarms should also have backup batteries so they will function in a power outage. Smoke alarms should be tested routinely, as they are important safety devices which can save lives. Smoke alarms should be installed on ceilings, above the swing of the door, and at least 1 foot away from the wall.

CARBON MONOXIDE: Carbon monoxide detectors should be installed and centrally located on each level of existing single-family homes (and within hallways that lead to bedrooms) that have a fossil-fuel burning appliance, fireplace, or attached garage. Manufacturer's recommendations should be followed as to the locations of the carbon monoxide detector. It is typically recommended that detectors be installed at approximately 4 - 6 feet in height above the floor, however, each manufacturer has their own recommendations and/or requirements.

**INTERIOR FEATURES:**

**INTERIOR STAIRS:**

The stairs are in serviceable condition. The stair handrail is serviceable.

**COMMENTS:**

A security system has been installed in this dwelling. The alarm system was not tested. We recommend consultation with the owner and/or alarm company regarding operation and maintenance of this system.

**GARAGE/LAUNDRY**

**TYPE:**

Three car attached garage.

**FLOOR:**

**CONDITION:**

The garage floor is in serviceable condition. Common cracks are noted in the floor. The floor is not fully visible due to personal belongings.

**RECOMMENDATIONS:**

GARAGE CRACKING IN FLOORS: Recommend sealing all cracks in the garage floor to help prevent possible moisture penetration from a saturated ground.

**FIRE WALL:**

**CONDITION:**

The firewall appears to be in serviceable condition although it was not fully visible to inspection due to personal belongings.

**RECOMMENDATIONS:**

GENERAL INFO: The surfaces between the garage and the house should be covered with 5/8 inch thick fire-rated sheet rock, or equivalent in new construction. The joints between the sections of sheet rock should be taped. Any holes or openings in fire walls should be repaired. Fire-rated surfaces might not be present between the house and garage in older construction. Garages that are attached to residences and do not have adequate fire wall protection are not recommended to be used for storing flammable liquids or vehicles containing them.

**VENTILATION:**

**CONDITION:**

There is no ventilation provided. Ventilation is not required in all jurisdictions.

**RECOMMENDATIONS:**

Due to the lack of ventilation in the garage, it is not recommended to store any flammable items such as paints, thinners or gasoline operated equipment. Ventilation can be accomplished by cutting a 6 x 12 opening at the lower corners of the garage door with screens to prevent pest entry. We advise using a minimum 1/4 inch mesh screen to help prevent the openings from becoming clogged.

**DOOR TO LIVING SPACE:**

**TYPE:**

There is a fire rating label on the door.

**CONDITION:**

The fire door is in serviceable condition. [The self closer is NOT operational.](#)

**RECOMMENDATIONS:**

DOOR TO LIVING SPACE: Installing metal panels over hollow core or non-fire rated doors was once considered a standard installation method. Current standards require that there is a fire rated, solid core, self-closing door installed on any passageway between the garage and the house, attic, or subarea crawl spaces. The door springs often lose tension over time and need periodic adjustment to properly close and latch the door. Recommend repairing or adjusting the self closing device for proper operation.

**VEHICLE DOOR:**

**TYPE:**

Roll Up.

**CONDITION:**

The vehicle doors are in serviceable condition.

**AUTOMATIC OPENER:**

**CONDITION:**

The automatic garage doors are both in serviceable condition. Automatic reversed operated on both doors.

**RECOMMENDATIONS:**

AUTOMATIC REVERSE: Automatic garage door openers should be equipped with an auto-reverse mechanism. This safety device will automatically cause the door to return if someone or something is in its path. It is easy to test the automatic reverse and should be performed annually by placing a board or other obstruction in the way of the moving garage door. If the door does not return the device needs adjustment or repair by a licensed contractor. Eye beams should be installed low to the ground to help ensure detection of a child lying under the door (typically 3 - 5 inches is recommended).

**ELECTRICAL:**

**CONDITION:**

The condition of the electrical wiring is serviceable.

**OUTLETS:**

The accessible outlets tested are serviceable.

**RECOMMENDATIONS:**

GFCI: Ground Fault Circuit Interrupters are especially sensitive circuit breakers designed to protect the user from electric shock. They have been required for several years on the interior of the home, within six feet of water in bathrooms and kitchens, and at all exterior locations, including garages and basements.

**MISCELLANEOUS:**

There were no visible moisture stains on the garage ceiling or walls at the time of inspection.

**LAUNDRY:**

**LOCATION:**

Service Area.

**CONDITION:**

Plumbing (water and waste) appear serviceable although it is outside the scope of this inspection to test washing machines or dryers. The standard 120v electrical outlet is grounded. The 240 volt outlet is operational. The gas provided is serviceable. **There is dryer venting present that has been installed at a vertical angle. There is not a catch pan installed.**

**LAUNDRY SINK:**

The sink is operational. The plumbing below the sink is serviceable. **The faucet flex line is leaking** - see PHOTO 1.

**RECOMMENDATIONS:**

**VERTICAL VENTING:** Where dryer venting has been installed at a vertical angle, this installation method can promote the entrapment of lint which may create a potential fire hazard. Recommend providing ducting as close to a horizontal or downward angle as possible or cleaning the ducting frequently to help alleviate lint build-up. Installing non-flexible type piping can also help alleviate the entrapment of lint.

**CATCH PAN:** Clothes washing machines may leak due to age, overloading or during the drain cycle. A washing machine near or above finished rooms is generally recommended to have a sheet metal or plastic pan placed beneath the unit with a drain line that extends to the exterior of the building to prevent interior damage should leaking occur. In lieu of installing a catch pan, it is not recommended to operate the clothes washer unattended. It would be beneficial to install a catch pan with an exterior routed drain line (if practical) and testing the drain by pouring water into the catch pan and ensuring the water comes out the end of the drain line. This should be performed on a regular basis as part of general property maintenance. It would be beneficial having a catch pan installed.

**PHOTO 1:**

Recommend having a licensed plumber perform the necessary repairs to alleviate all leaks that are present and to help prevent damage or other moisture related issues.



**KITCHEN**

**GENERAL:**

**CONDITION:**

The kitchen counter is in serviceable condition.

**CABINETS:**

The cabinets are in serviceable condition.

**WINDOW:**

The window is operational.

**FLOORING TYPE:**

Ceramic Tile.



**CONDITION:**

The flooring in the kitchen is serviceable. There were no broken/cracked tiles visible at the time of the inspection.

**LIGHTING:**

The kitchen lighting is serviceable.

**RECOMMENDATIONS:**

GENERAL INFORMATION: It would be beneficial to periodically check the floor for cracked tiles. If cracked tiles are found, recommend replacing cracked tiles to help alleviate the development of trip hazards due to tile displacement and to prevent moisture from accessing under the tiles which can cause damage.

**KITCHEN SINK:**

**CONDITION:**

The kitchen sink is serviceable. The faucet is in serviceable condition. The plumbing under the sink was found to be serviceable. There were no moisture stains under the perimeter of the sink at the time of inspection.

**GARBAGE DISPOSAL:**

**CONDITION:**

The disposal is not operational. The blades on the disposal are frozen.

**WIRING:**

The wiring on the disposal unit is serviceable.

**RECOMMENDATIONS:**

Recommend unplugging the disposal and removing any foreign objects that may be trapped inside to ensure the blades are not obstructed. If the disposal blades continue to not operate, recommend further evaluation by the appropriate licensed contractor of the unit.

GENERAL INFO: The purpose of the splash guard is to help prevent debris from exiting the disposal and causing possible injury. Damaged splash guards should be replaced when needed.

**RANGE/COOKTOP:**

**TYPE:**

Electric oven and a gas stovetop with an electric ignition.

**CONDITION:**

The ovens are in serviceable condition. The oven doors are in serviceable condition. The gaskets around the oven doors are serviceable.

**SEPARATE COOKTOP:**

The cooktop is in serviceable condition.

**GAS SHUTOFF VALVE:**

There is a gas shutoff valve installed however the gas shutoff valve was located behind a drawer.

**FAN/HOOD:**

The fan/hood is operational. The filter, fan assembly and ducting are greasy. The venting was not fully visible to inspection.

**RECOMMENDATIONS:**

FILTER: A damaged, missing or greasy exhaust fan screen (including the fan assembly and ducting) can be a fire hazard. We recommend that screens be replaced and fans and ducting be cleaned prior to use and on a regular basis thereafter as part of general maintenance.

GAS VALVE SHUTOFF: Every gas burning appliance is required to have an accessible shutoff valve in case of emergency or repair of the unit. The valve should be re-located to an accessible location. In lieu or re-locating the valve, recommend familiarizing yourself with the drawer removal procedure to access the gas valve in case emergency shut off is necessary.

**Please Note:**

Self and/or continuous cleaning operations, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved.

**DISHWASHER:**

**CONDITION:**

The dishwasher is operational. The inspector runs the dishwasher partially, through the initial cycle only to test for filling with water and proper drainage. The door, liner, and racks are serviceable. The door seals around the unit are serviceable.

**DRAIN LINE INSTALLATION:**

Air Gap Device.

**RECOMMENDATIONS:**

GENERAL INFO: Water exiting the air gap device is typically a condition caused by a clogged or misconfigured drain line or the lack of removal of the knock-out located in the drain opening of the garbage disposal. Should leakage occur from the air gap device, it is recommended to remove the drain line between the air gap device and the garbage disposal and remove any obstructions for proper operation of the air gap device.

**Please Note:**

Determining the adequacy of washing and drying functions of the dishwasher is not part of this inspection.

**KITCHEN SPECIAL FEATURES:**

Built-in microwaves, instant hot water makers, refrigerators, freezers and built-in ice makers are not part of this inspection. THERE WAS A WATER PURIFIER INSTALLED, ALTHOUGH IT IS OUTSIDE THE SCOPE OF THIS INSPECTION.

<b>BATHROOMS</b>
------------------

**LOCATION:**

Bathroom A: Downstairs hallway. Bathroom B: Upstairs hallway. Bathroom C: Master bedroom.

**TOILET:**

**CONDITION:**

All the toilets are in serviceable condition.

**RECOMMENDATIONS:**

GENERAL INFO: A loose toilet can cause water leakage and damage to flooring. The seal at the base of the toilet also prevents entry of sewer gas into the living area. Recommend checking the toilet periodically to ensure it is secured properly.

**SINK:**

**CONDITION:**

All the sinks are serviceable.

**FAUCETS:**

The faucets are in serviceable condition.

**DRAIN:**

The drains are in serviceable condition however, **There is a leak at the drain line at the left sink in BATH C and there is a leak at the stopper arm of the left sink in BATH B - see PHOTO 1. The drain stopper did not operate at BATH B left sink & at both sinks in BATH C.**

**COUNTER(S) & CABINET(S):**

All the counters are in serviceable condition.

**FLOORING:**

The flooring is in serviceable condition. There were no broken/cracked tiles visible at the time of the inspection.

**RECOMMENDATIONS:**

It would be beneficial to have a licensed plumber repair the stoppers.

**PHOTO 1:**

Recommend having a licensed plumber perform the necessary repairs to alleviate all leaks that are present and to help prevent damage or other moisture related issues.



**ELECTRICAL:**

**CONDITION:**

BATH A & B: 'GFCI' protection did not respond - see ELECTRICAL section.

**RECOMMENDATIONS:**

GFCI: Ground Fault Circuit Interrupters are especially sensitive circuit breakers designed to protect the user from electric shock. They have been required for several years on the interior of the home, within six feet of water in bathrooms and kitchens, and at all exterior locations, including garages and basements.

**VENTILATION:**

**CONDITION:**

Ventilation in all bathrooms are serviceable.

**RECOMMENDATIONS:**

GENERAL INFO: Adequate ventilation during showers is important to help alleviate excessive accumulation of steam which can accelerate the growth of mold or mildew and may cause paint or wall paper to peel. Recommend opening the window and/or operating the exhaust fan during and after showering to help disperse excessive moisture.

**BATHTUB:**

**CONDITION:**

BATH B & C: The bathtubs are serviceable in both bathrooms.

**FAUCETS:**

BATH B & C: The faucets in both bathtubs are serviceable.

**DRAIN:**

BATH B & C: The drains are serviceable in both bathrooms.

**SHOWER:**

**CONDITION:**

All showers are in serviceable condition.

**ENCLOSURE:**

BATH A & C: The glass enclosures around both showers are serviceable. BATH C: The door sweep needs adjustment.

**RECOMMENDATIONS:**

Recommend having the appropriate professional adjust the door sweep to help prevent possible water penetration and subsequent damage over time.

TILES: Oftentimes localized areas of tile in a shower will display a hollow sound when tapped with the fingers. This is most common with thin set bedded tile, which is affixed with mastic or thin set mortar. The hollow sound indicates a loss of adhesion between the tile itself and the underlying substrate, generally wallboard. Any area having loss of adhesion also has a greater chance of deteriorating further in the future. For that reason these areas should be monitored for any signs of cracking at the grout joints between tile. As cracks form, water can be drawn into the underlying wall by capillary action, with accelerating damage to the substrate and eventual need for major repair of the wall and tile. The best way to locate cracked grout is to use a bright flashlight to make a detailed examination of grout lines every year or so. Serious damage can be prevented by caulking or re-grouting any cracked grout as soon as it occurs.

GENERAL INFO: Periodic re-caulking and grouting of ceramic wall tile in tub and shower areas is an ongoing maintenance task which should not be neglected. Areas which should be examined periodically are the vertical corners, the floor to wall joints, the tub lip, the areas around the tub spout and faucet trim, and any other areas mentioned above. Siliconized acrylic latex caulk is the product of choice, as it has long life and easy clean up.

GENERAL INFORMATION: It would be beneficial to periodically check the floor for cracked tiles. If cracked tiles are found, recommend replacing cracked tiles to help alleviate the development of trip hazards due to tile displacement and to prevent moisture from accessing under the tiles which can cause damage to the subfloor.

Date of Inspection: 11/02/2018

Address: 900 Sunset Creek Ln.

## SUMMARY OF HOME INSPECTION REPORT

Client:

Property Address: 900 Sunset Creek Ln.  
Inspection Date: 11/02/2018  
Report #: 900 Sunset Creek Ln.  
Pleasanton

Realtor:



At your request, a visual inspection of the above referenced property was conducted on November 2, 2018 . An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, reflecting the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

**IMPORTANT:** The Summary provides a brief overview of the report, but is not encompassing, nor should be considered a substitute for reading the report in entirety. The entire Inspection Report, including the Inspection Overview, Limitations and Scope of Inspection, and the Standards of Practice from ASHI must be carefully read to fully assess the findings of the inspection. This list is not intended to determine which items may need to be addressed per the contractual requirements of the sale of the property. Any areas of uncertainty regarding the contract should be clarified by consulting an attorney or real estate agent. The following is an opinion report, reflecting the the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

It is strongly recommended that you have appropriate licensed contractors evaluate each concern further and the entire system for additional concerns that may be outside our area of expertise or the scope of our inspection BEFORE the close of escrow. Please call our office for any clarifications or further questions.

Primary recommendations are items that should be addressed immediately for safety or damage issues. Secondary recommendations are items that should be addressed in the near future (not usually more than a few months) to help avoid damage or dangerous conditions from developing. It is only our opinion as to which items should be categorized in each section. We do not imply, nor accept responsibility, for the severity of each condition and the time it should be addressed or repaired. This summary is only a courtesy in an effort to help create a list of items that need attention. We do not guarantee that all conditions are listed in this summary. This summary should not be used in place of the report, it does not provide the necessary information or recommendations that was found at the time of inspection.

### PRIMARY RECOMMENDATIONS:

#### BATHROOMS

##### SINK:

1. There is a leak at the drain line at the left sink in BATH C and there is a leak at the stopper arm of the left sink in BATH B.

##### ELECTRICAL:

2. BATH A & B: 'GFCI' protection did not respond - see ELECTRICAL section.

## SECONDARY RECOMMENDATIONS:

### GROUNDS

#### GRADING:

1. The soil level is too high at the foundation at the rear Plants are touching the house. There is a missing drain cover to the subsurface drain pipe at the rear .

#### FENCES & GATES:

2. There are loose posts noted at the left and there are loose boards at the left and right that are creating gaps in the fence.

### EXTERIOR/FOUNDATION

#### POOL/SPA:

3. MESH FENCE: None. POOL ENCLOSURE PRESENT: None. EXIT ALARM: None. SELF CLOSING DEVICE: Did not operate at the gate which provides access to the pool. POOL ALARM: None. OTHER MEANS: None.

#### EXTERIOR WALLS:

4. The butt ends of the siding are separating at limited locations and in need of re-caulking.

### ROOF

#### CONDITION:

5. There are two cracked tiles upon the roof surface and there are no broken tiles at this time. There is a migrating tile at the upper left hip There are signs of pest entry at the upper middle hip transition.

#### ROOF FLASHINGS & TRANSITIONS:

6. There are splits developing in the lead roof to wall transition at the lower rear. The sealant where a plumbing vent pipe penetrates the flashing at the rear is deteriorated and can allow water incursion.

#### GUTTERS & DOWNSPOUTS

7. Two gutters joints are leaking at the rear There is a minor amount of debris inside the gutters and there is excessive debris in the gutters at the left rear.

### PLUMBING

#### WASTE LINES:

8. There is an open waste line at the rear from the kitchen drain.

#### WATER HEATER:

9. There is corrosion on the pipes.

### HEATING

#### CONDITION:

10. UNIT A: The grommet at the AC line is missing at the plenum.

### ELECTRIC

#### WIRING NOTES:

11. There are two loose outlets at the kitchen counters and one at the upper hallway. There is a displaced/loose cover plate in the kitchen cabinet .

12. The shared GFCI outlet in BATH A & B is not operational.

### GARAGE/LAUNDRY

#### DOOR TO LIVING SPACE:

13. The self closer is NOT operational.

#### LAUNDRY:

14. There is dryer venting present that has been installed at a vertical angle. There is not a catch pan installed.

15. The faucet flex line is leaking.

### KITCHEN

#### GARBAGE DISPOSAL:

16. The disposal is not operational. The blades on the disposal are frozen.

#### RANGE/COOKTOP:

17. The gas shutoff valve was located behind a drawer.

18. The filter, fan assembly and ducting are greasy.

### BATHROOMS

#### SINK:

19. The drain stopper did not operate at BATH B left sink & at both sinks in BATH C.

#### SHOWER:

20. BATH C: The door sweep needs adjustment.

Thank you for selecting our firm to do your home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

John Quintal  
Homespec



Date of Inspection: 11/02/2018

Address: 900 Sunset Creek Ln.